



LAND SOUTH OF (EAST OF GRIFFIN PLACE)

RADWINTER ROAD, SAFFRON WALDEN

**JOINT STATEMENT BETWEEN THE APPELLANTS,
UTTLESFORD DISTRICT COUNCIL AND THE RULE 6 PARTY
REGARDING THE DELIVERY OF THE 'LINK ROAD'**

LPA REF: UTT/21/2509/OP

APPEAL REF: APP/C1570/W/22/3296426

APPELLANTS' REF: 10680

AUGUST 2022

LIST OF APPENDICES

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APPENDIX 2	Site 1 (UTT/13/3476/OP) Approved Site Location Plan & Layout
APPENDIX 3	Site 2 (UTT/17/2832/OP) Approved Site Location Plan & Layout
APPENDIX 4	Site 3 (UTT/18/0824/OP) Approved Site Location Plan & Layout
APPENDIX 5	Dwg No. 2544-ING-Z1-00-DR-C-SK027 Rev B Crossing Proposals Bridleway 19
APPENDIX 6	Dwg No. DE436 022 Access & Movement Plan
APPENDIX 7	Dwg No. CTP-20-1142-SK17A Future Southern Relief Road

1.0 INTRODUCTION

1.1. This joint Statement on behalf of the Appellants, Uttlesford District Council and The Rule 6 Party has been prepared by Frampton Town Planning Ltd. (The Rule 6 Party has asked that this Statement records that neither Saffron Walden Town Council nor Swards End Parish Council have been previously involved in the meetings where discussion regarding the 'Link Road' has taken place.)

1.2. The Statement sets out the latest position on the proposed 'Link Road' between Radwinter Road and Thaxted Road, as shown in **APPENDIX 1**. The 'Link Road' is an estate road which provides a link between Radwinter Road and Thaxted Road.

1.3. The 'Link Road' is, in the words of the Local Highway Authority, defined as being a '*residential road currently connecting Radwinter Road and Thaxted Road, being provided to the west of the appeal site through three new developments*'. The Local Highway Authority describes the potential Relief Road (referred to in Section 4 of this Statement) as being a '*possible draft Local Plan option for relief road and sustainable transport corridor from Radwinter Road to Newport Road to the east and south of Saffron Walden*'.

1.2 The 'Link Road' between Radwinter Road and Thaxted Road has been facilitated by the following planning permissions:

- **Site 1:** UTT/13/3476/OP: Land south of Radwinter Road, Saffron Walden (approved Location Plan & Site Layout Plan included as **APPENDIX 2**)

'Outline planning application for either a residential development of up to 230 dwellings; Class B1 Business floorspace, extra care housing within Class C2, provision of public open space or for development of up to 200 dwellings, Class B1 Business floorspace, extra care housing within Class C2, provision of public open space, provision of land for a one form entry primary school; together with associated infrastructure including roads, drainage, access details from Radwinter Road and Shire Hill, with all matters reserved except access at Land South Of Radwinter Road Radwinter Road Saffron Walden Essex'

Developer: Linden Homes (now known as Vestry)

- **Site 2:** UTT/17/2832/OP: Land north of Shire Hill Farm (approved Location Plan & Site Layout Plan included as **APPENDIX 3**)

'Outline application (with all matters reserved except access) for up to 100 dwellings, including affordable accommodation, in addition to the provision of land to facilitate an extension to the approved primary school (Planning Application Ref: UTT/13/3467/OP), and associated open space, drainage, landscaping, access and parking. at Land North of Shire Hill Farm Shire Hill Saffron Walden Essex'

Developer: Dianthus Land Ltd for the outline application; Redrow for the Reserved Matters

- **Site 3:** UTT/18/0824/OP: Land east of Thaxted Road, Saffron Walden (approved Location Plan & Site Layout Plan included as **APPENDIX 4**)

*'Outline planning application for the development of up to 150 dwellings (Use Class C3)
with all matters reserved except access at Land East of Thaxted Road Thaxted Road
Saffron Walden'*

Developer: Kier Homes for the outline application; current developer is Bellway Homes

2.0 PLANNING POLICY

- 2.1. The Uttlesford Local Plan (adopted 2005) makes no reference or provision for a 'Link Road' between Radwinter Road and Thaxted Road as there was no site allocation in that location at that time. There was an allocation in the 2013 draft and a 'Link Road' was included in that draft. The provision of a 'Link Road' was, however, agreed at the planning application stage of each of the Proposed Developments, originating from 2013 onwards.
- 2.2. At the time of preparing the draft Saffron Walden Neighbourhood Plan 2020-2035 (SWNP), Land at Shire Hill (Site 2) had not yet received planning approval. The SWNP included Site 2 as an allocation in the SWNP under Policy SW1¹. Bullet point (k) of Policy SW1 stated that:

'(k) The Master Plan needs to make provision for the delivery of a link road between Thaxted Road and Radwinter Road.'

- 2.3. The Examiner's Report for the SWNP was published on 28th April 2022. This recommended deletion of Policy SW1 in its entirety, including reference to the allocation of Land at Shire Hall. The Planning Inspector concluded that Policy SW1 did not meet the basic conditions and did not have regard to national planning policy. A modified version of the SWNP, omitting allocation of Land at Shire Hall, is to be the subject of a Referendum on 15th September 2022.

¹ Site 1 (UTT/13/3476/OP) and Site 3 (UTT/18/0824/OP) had already received planning consent.

3.0 PRESENT POSITION ON DELIVERY OF THE 'LINK ROAD'

3.1. The provision of a 'Link Road' connecting Radwinter Road and Thaxted Road is secured through S106 agreement for each of the developments to mitigate the impact on the local highway network. Table 1 sets out the progress of each of the developments at July 2022.

Table 1: Planning Progress of Each Site

Site	Delivery	Progress
<p>Site 1: APPENDIX 2</p> <p>UTT/13/3476/OP Approved 10th June 2016</p> <p>Developer: Linden Homes</p> <p>UTT/16/1856/DFO Reserved Matters approved 13th January 2017.</p>	<p>Outline Approval</p> <ul style="list-style-type: none"> • Provision of link road Included in the S106: Schedule 6 Point 9.0 • Condition 1: requires the master plan to include the link road. • Condition 9: required details of the link road and timings of its completion. 	<ul style="list-style-type: none"> • Reserved Matters application was approved in 13th January 2017. • Construction of the spine road has commenced. • The site is largely built out.
<p>Site 2: APPENDIX 3</p> <p>UTT 17/2832/OP Approved 14th July 2020</p>	<p>Outline Application</p> <ul style="list-style-type: none"> • Committee Report: Conditional joint approval with UTT/18/0824/OP to facilitate the link to make both sites acceptable. • S106 included Plan setting out access point for link road to 	<ul style="list-style-type: none"> • Reserved Matters application has been submitted – pending determination.

<p>UTT/21/3565/DFO</p> <p>Reserved Matters submitted 30th November 2021 - to be determined</p> <p>Developer: Redrow</p>	<p>the south to connect to UTT/18/0824/OP.</p> <p>Reserved Matters</p> <ul style="list-style-type: none"> • Details of link road included in the RM application Dwg 2544-ING-Z1-00-DR-C-17-038 Rev C01 Site Layout. • Site has a current Deed of Variation which seeks to amend the S106 to ensure the clarity of the wording in securing the link road connection between the Redrow site and Bellway. 	
<p>Site 3: APPENDIX 4</p> <p>UTT/18/0824/OP</p> <p>Approved 12th April 2019</p> <p>UTT/19/2355/DFO Reserved Matters allowed 29th January 2021</p> <p>APP/C1570/W/20/3252121</p> <p>UTT/20/0865/FUL</p> <p>Spine Road application</p> <p>Developer: Bellway Homes</p>	<p>Outline</p> <p>Link road route to connect to UTT 17/2832/OP included in the S106 agreement.</p> <p>Reserved Matters (whole site)</p> <p>Approved on appeal.</p> <p>Full Application – Spine Road</p> <p>Subsequently approval was granted for the spine road through the site that links to 17/2832/OP and UTT/13/3467/OP.</p>	<ul style="list-style-type: none"> • Construction of the spine road has commenced.

	Construction of the spine road has commenced.	
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(Note: The drawings referred to above comprise part of other development proposals unrelated to the appeal proposal.)

- 3.2. An application for a Certificate of Lawfulness (CLOPUD) (UTT/22/1612/CLP) has been submitted to Uttlesford District Council on behalf of Redrow Homes. The CLOPUD is to determine whether an identified ‘gap’ in the Link Road’ between the boundary of Sites 2 and 3 can be constructed under Permitted Development Rights. The CLOPUD description is *‘the provision of spine road link and associated equestrian crossing and engineering works’*. The location of the ‘gap’ is identified on **APPENDIX 1** (marked with a brown dot). A decision on the CLOPUD was expected by 3rd August 2022. The decision is still outstanding. **APPENDIX 5** includes the layout proposals.
- 3.3. Significant progress has been achieved in the delivery of the Proposed Developments facilitating the ‘Link Road’ between Radwinter Road and Thaxted Road. Construction of the southern and northern sections of the ‘Link Road’ has commenced. The details of the remaining central section are with the Council for determination. The Local Highway Authority has advised that the application for the Reserved Matters scheme is to go to Committee in September 2022. The Rule 6 Party has advised that, at the 31st August 2022 Planning Committee, a Variation to the Section 106 Agreement is to be considered which would obligate the Applicant to build across the Public Right of Way to join their land to the road to the south, completing the ‘Link Road’.
- 3.4. The ‘Link Road’ through the three sites will provide an alternative route for traffic and take pressure off the Thaxted Road/Radwinter Road, however it will not act as a relief road for the town.

4.0 THE APPEAL SITE: FUTURE RELIEF ROAD BETWEEN RADWINTER ROAD AND NEWPORT ROAD

- 4.1. In discussions with Rosconn Strategic Land at the pre-application stage (the Rule 6 Party has requested that this Statement record the fact that the Rule 6 Party were not in attendance at these pre-application meetings), both Uttlesford District Council and Essex County Council as the Local Highway Authority indicated that as part of a potential future urban extension to the south east of the town, it may be necessary to provide a new 'Link Road' (Relief Road) between Radwinter Road and Newport Road. The appeal site could therefore potentially form a possible first phase of such a link. Neither a future urban extension to the south east of the town nor a proposed relief road have any formal planning status, and there is no fixed route.
- 4.2. One of the options currently being modelled for the draft Local Plan includes a relief road to accommodate potential additional growth to the south east of Saffron Walden. The road would provide a connection from Radwinter Road to Newton Road in the south. Local Plan modelling and associated mitigation measures are due to be released in November 2022.
- 4.3. The Appellants have responded to the request from the District and County Councils to ensure that land can be safeguarded to allow:
- the proposed site access on Radwinter Road to be upgraded to a roundabout junction;
 - the main spine road to be widened if required;
 - a strip of land has been reserved at the end of the spine road to extend to the southern boundary of the appeal site, to enable its future connection to adjoining land.
- 4.4. These measures will facilitate the delivery of Phase 1 of a relief road, should it be required at some point in the future, if an urban extension to the south east of the town is permitted.

APPENDIX 6 (Dwg Nol. DE436 022 Access & Movement Plan) and **APPENDIX 7** (Dwg No. CTP-20-1142-SK17A Future Southern Relief Road) show the land to be safeguarded to help facilitate the delivery of a future relief road, and will be secured through a Section 106 Agreement. Provision has been made in the S106 agreement (Schedule 4 Part 4) which refers to the potential future highway link as being a '*relief road*'.

4.5. The provision of a road to the south of the appeal site, and any development accompanying such a proposal, remains within full control of the Local Planning Authority. As such, public consultation will ordinarily be undertaken in response to any plan-making or the submission of a planning application.

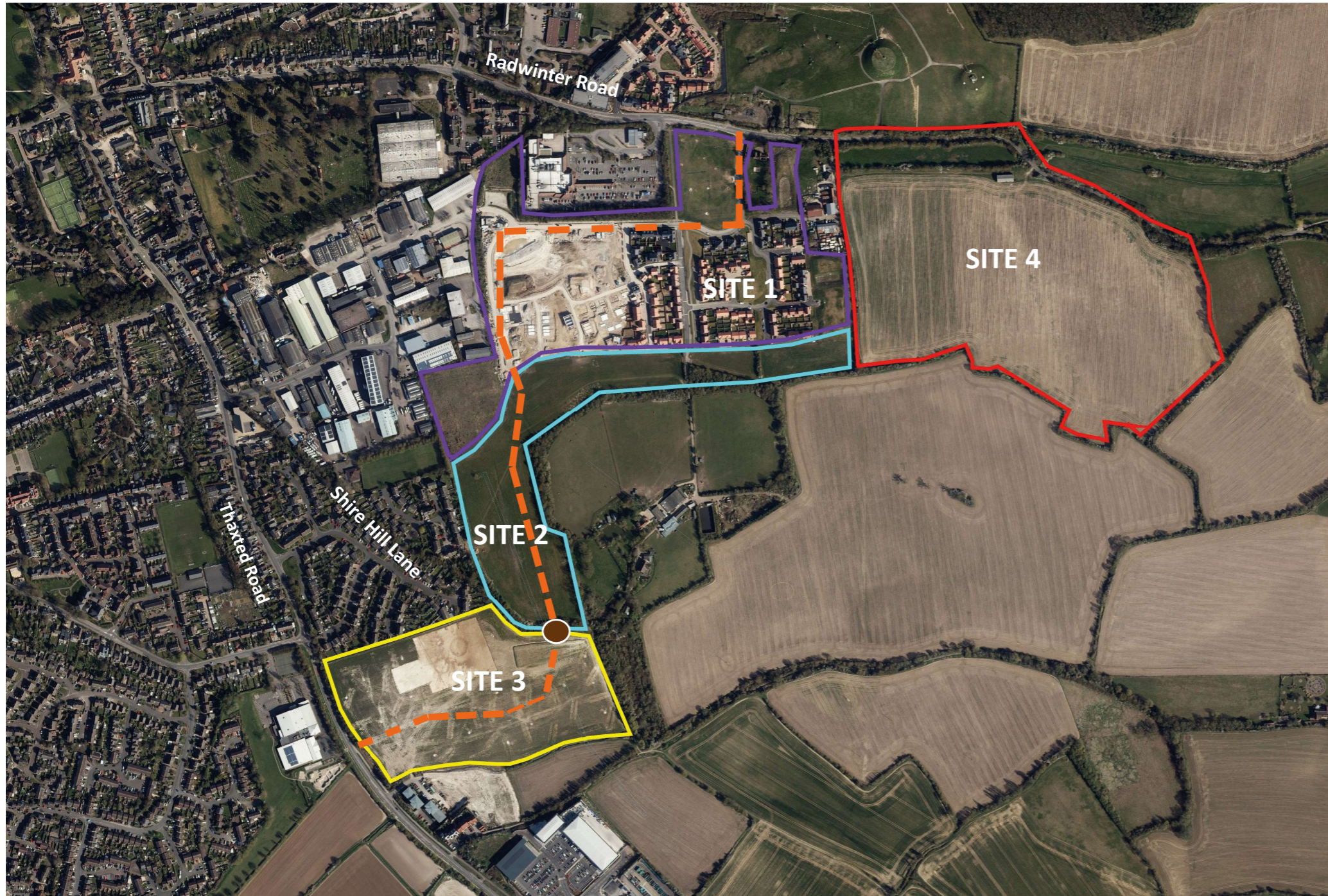
4.6. There are no formal development proposals to develop land to the south of the appeal site which would require access to be taken from Radwinter Road. The Rule 6 Party point out that the 2021 Call for Sites received an interest being promoted in the land to the south of the appeal site (<https://www.uttlesford.gov.uk/LP-Sites>). Preparation of the Local Plan, including a consultation on the Call for Sites by UDC, is delayed. The Council's website does not announce a date for the consultation. The Rule 6 Party remains of the view that the future Southern Relief Road should be built to the required standard, rather than simply safeguarded. The Appellants' position is that the provision of a widened estate road to serve a greater amount of development is not necessary to make the proposed development acceptable. Neither would a road of enhanced width be a reasonable requirement in terms of the scale of the proposed development. Accordingly, the provision of a widened estate road as urged by the Rule 6 Party would fail to satisfy the test of validity for a planning condition and fail to satisfy the tests for a lawful Planning Obligation.

APPENDIX 1

Details of Link Road between Radwinter Road and Thaxted Road

APPENDIX 1

Details of the Link Road between Radwinter Road and Thaxted Road



Site 1: Planning Applications

UTT/13/3467/OP: approved 10th June 2016
UTT/16/1856/DOC: approved 13th January 2017

Site 2 Planning Applications

UTT/17/2832/OP: approved 14th July 2020
UTT/21/3565/DFO Reserved Matters Application under consideration. Decision date 20th April 2022

Site 3: Planning Applications

UTT/18/0824/OP: approved 12th April 2019
APP/C1570/W/20/3252121 Reserved Matters appeal allowed 21st January 2021
UTT/20/0865/FUL: Spine road Application approved 21st July 2020

Certificate of Lawfulness

● UTT/22/1612/CLP: Application to determine whether proposed new access and road layout associated with proposed uncontrolled equestrian crossing over existing bridleway, together with engineering works associated with crossing, can be delivered by permitted development rights: Expected decision 3rd August 2022.

Alignment of the Link Road

Site 1: Land south of Radwinter Road, Saffron Walden

Site 3: Land east of Thaxted Road, Saffron Walden

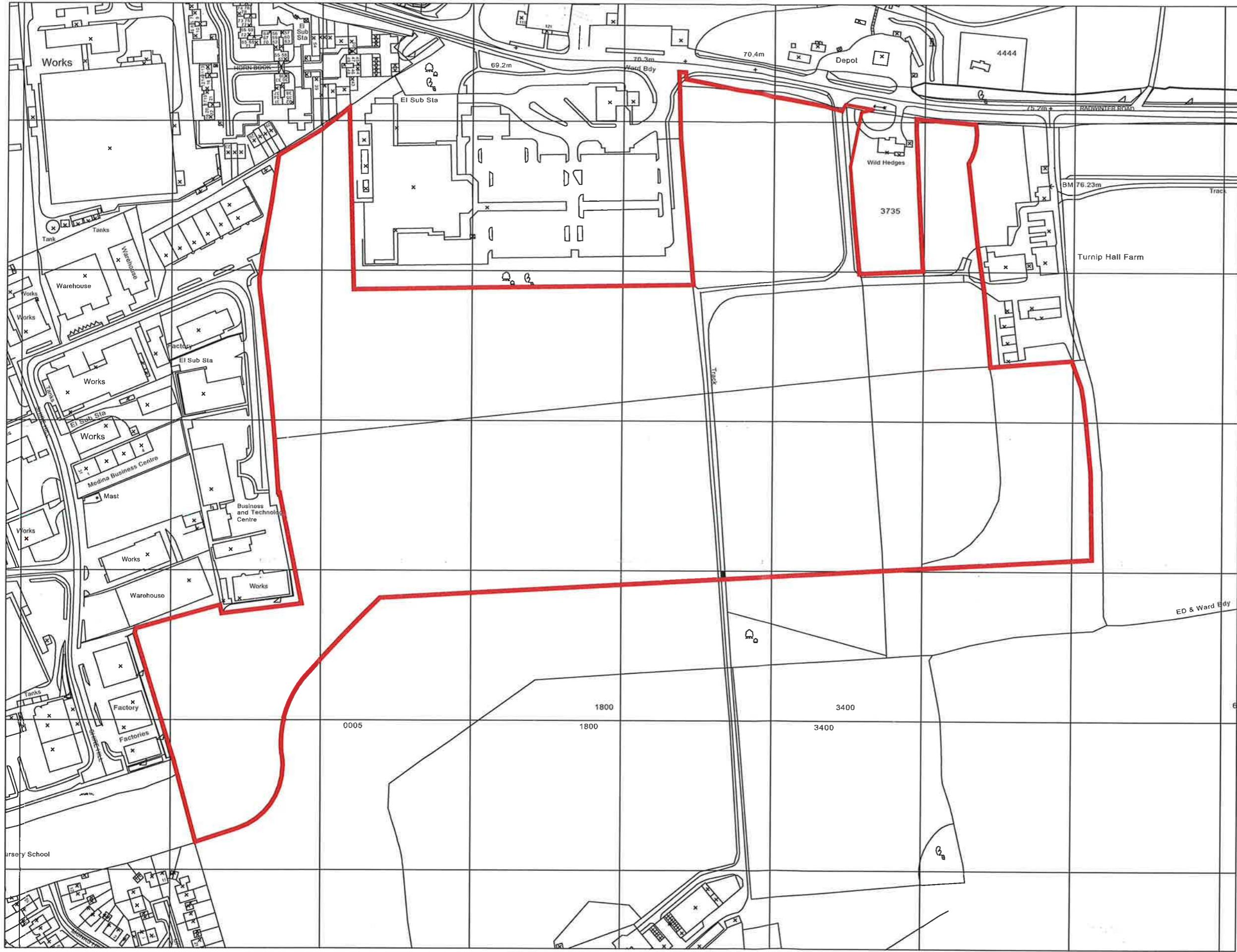
Site 2: Land north of Shire Hill Farm

Site 4: Land South of Radwinter Road (East of Griffin Place) Saffron Walden
The Appeal Site

APPENDIX 2

Site 1 (UTT/13/3476/OP) Approved Site Location Plan & Layout

NOTES
 CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE
 COMMENCING ANY WORK ON SHOP DRAWINGS
 DO NOT SCALE FROM THIS DRAWING
 MCBAINS COOPER CONSULTING LTD COPYRIGHT



REV	AMENDMENT	DATE	CHKD

PLANNING



MCBAINS COOPER CONSULTING LTD.
 BEECHWOOD, GROVE PARK, WALTHAM ROAD, MADENHEAD SL8 3LW
 TELEPHONE: 01628 854300 FACSIMILE: 01628 854321

CLIENT
 MANOR OAK HOMES

PROJECT
 LAND SOUTH OF RADWINTER ROAD,
 SAFFRON WALDEN

DRAWING TITLE
 SITE LOCATION PLAN

ARCHITECTURE

SCALE 1:2500 @ A3 DRAWN BY TG CHECKED DATE 10 DEC 201

DRAWING NUMBER	REVISION
57183-100	

NOTES
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Contractors, Sub Contractors and Suppliers are to check all relevant dimensions and levels of the site and building before commencing any shop drawings or building work. Any discrepancies should be recorded to the Architect.
Where applicable this drawing is to be read in conjunction with the Consultant's drawings.

REV	DESCRIPTION	DATE	AUTHOR	CHK'D
A	Turning head added to education land. Parking updated. Crossing points added to amenity comments. H T J superseded by H T TSS.	07/09/16	RP	TW
B	Layout updated to highways comments. H T J superseded by H T TSS.	16/11/16	RP	TW
C	Layout updated to planning comments.	20/12/16	RP	TW
D	Layout updated. road in front of plots 100 & 200 and road 4 junction modified to reflect Engineers layout.	06/01/17	WA	TW

Full Site plan @ 1:2500



SCALE 1:500

PLANNING



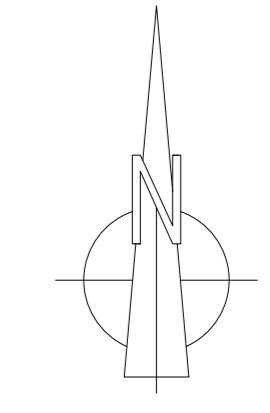
Unit 5, Middle Bridge Business Park, Bristol Road, Portishead, BS20 6PN
t: 01275 407000 f: 01794 367276 www.thrivearchitects.co.uk

PROJECT
Radwinter Road
Saffron Walden
For: Linden Homes Eastern

DRAWING
Site Layout

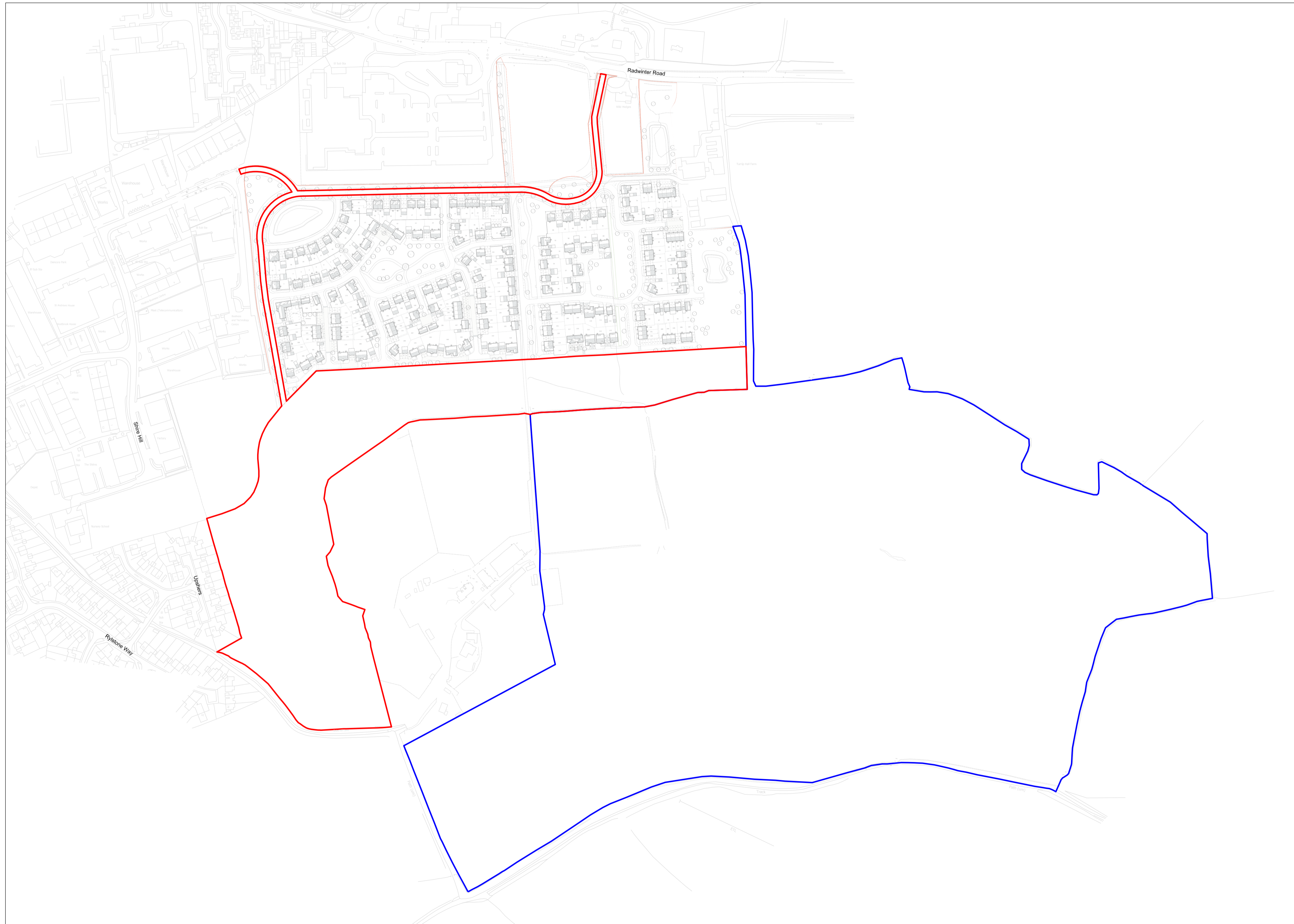
SCALE	DATE	AUTHOR	CHK'D
1:500 @ A0	June 2016	RP	TW
JOB NO.	DRAWING NO.	REV	
LIND150913	SL.01	D	
CLIENT REF.			

- Education Land (S106 requirements)
- to be level at its boundary with a point of suitable safe pedestrian ingress and egress agreed with the County Council;
 - to be level at its boundary with a point of suitable vehicular access agreed with the County Council;
 - to be level at its boundary with a point suitable to provide construction, maintenance and emergency vehicular access;
 - to be fit for use as an Education Facility.




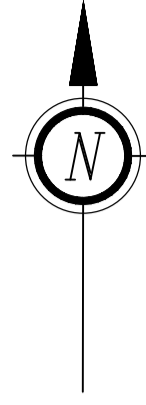
APPENDIX 3

Site 2 (UTT/17/2832/OP) Approved Site Location Plan & Layout



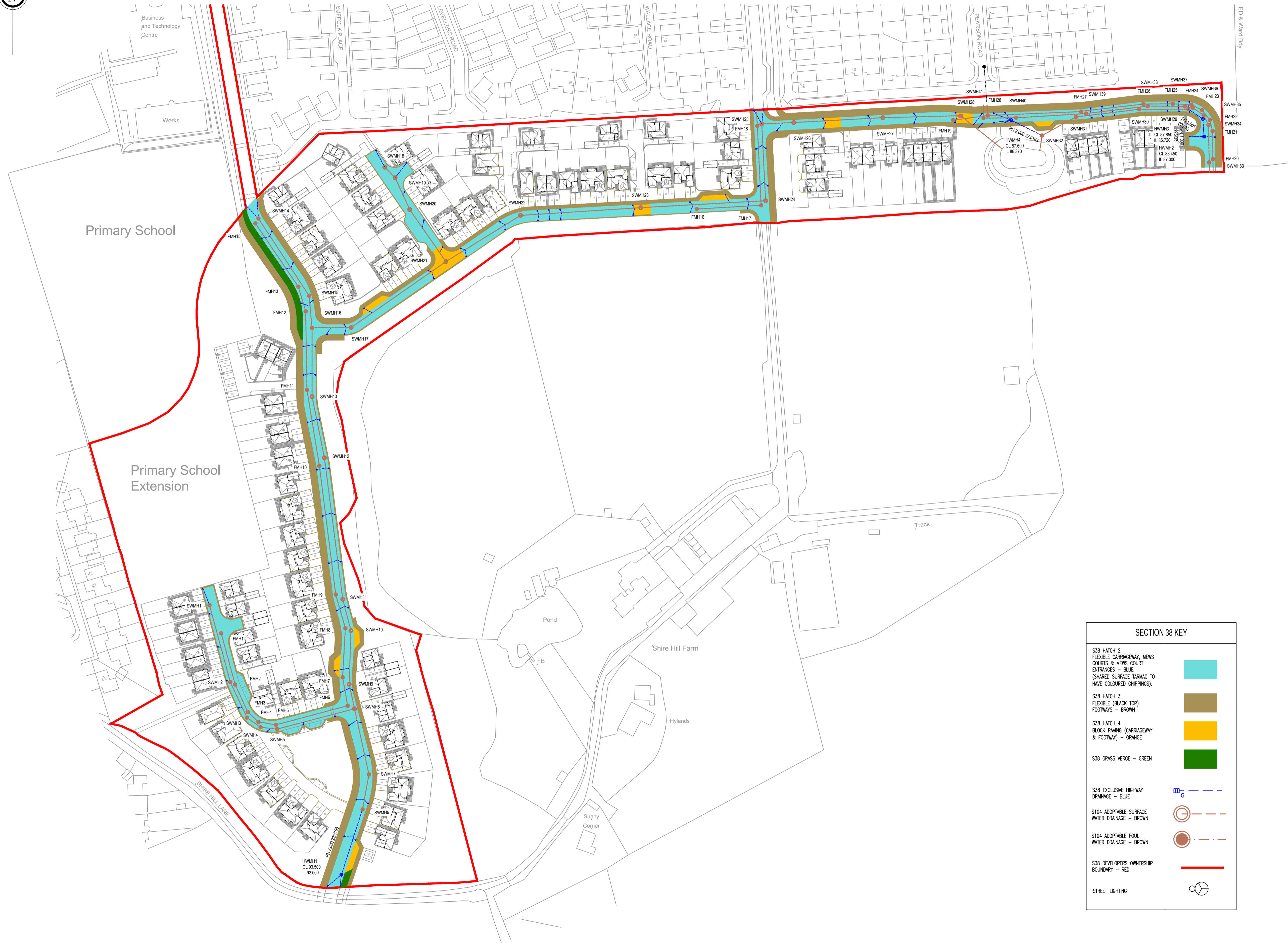
- Application Boundary
- Land under the control of Dianthus land

Client		FLITCROFT HOUSE 114-116 CHARING CROSS ROAD LONDON WC2H 6JR	
Dianthus Land		T. +44(0)20 3640 8508 W. mail@iceniprojects.com	
Project			
Land at Shire Hill Farm		Job Ref.	17-M020
		Drawn	NM
Drawing Title		Scale	1:2500@A1
Site Location with Access		Date	12.10.2017
		Drawing no.	008
		Rev.	



GENERAL

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- THE CONTRACTOR IS RESPONSIBLE FOR AND MUST TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE STABILITY OF THE WORKS AT ALL TIMES DURING CONSTRUCTION.
- ALL WORKMANSHIP AND MATERIALS ARE TO BE TO CURRENT BRITISH STANDARDS.
- ALL SERVICES ARE TO BE LOCATED AND PROTECTED AS NECESSARY BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF THE WORKS.
- ANY EXISTING DETAILS WHICH ARE SHOWN ON THIS DRAWING ARE FOR GUIDANCE ONLY AND ARE TO BE CHECKED ON SITE BY THE CONTRACTOR. ANY VARIATIONS ARE TO BE RECORDED AND REPORTED TO THE ENGINEER IMMEDIATELY.
- ALL ADOPTABLE WORKS TO BE CARRIED OUT IN ACCORDANCE TO ESSEX HIGHWAYS DEVELOPMENT CONSTRUCTION MANUAL SEPTEMBER 2019.
- PRIOR TO THE OCCUPATION OF THE FIRST DWELLING, STREET NAMEPLATES SHALL BE ERRECTED IN ACCORDANCE WITH THE HIGHWAY AUTHORITY AND TO THE WORDING AGREED WITH THE PLANNING AUTHORITY.
- DURING CONSTRUCTION WORKS ON SITE, ALL ROADS AND FOOTPATHS ARE TO BE SWEEPED AND KEPT CLEAR OF OBSTRUCTIONS, THIS IS TO INCLUDE EXISTING HIGHWAYS AS APPROPRIATE TO ENSURE SAFE PASSAGE OF ALL ROAD USERS.
- PROVISION SHALL BE MADE FOR THE INSTALLATION OF ALL MAINS SERVICES INCLUDING DUCTING PRIOR TO THE LAYING OF THE ROAD BASE-COURSE.
- ALL ROAD MARKINGS AND SIGNS ARE TO BE IN ACCORDANCE WITH THE TRAFFIC SIGNS REGULATIONS AND DIRECTIONS 2016.
- ALL SEWER WORKS ARE TO BE IN ACCORDANCE WITH SEWERS FOR ADOPTION 6th EDITION.
- ALL PRIVATE CONNECTIONS TO ADOPTABLE SEWERS SHOULD BE A MINIMUM OF 100mm DIAMETER (FOUL) & 150mm DIAMETER (SURFACE) MADE IN VITRIFIED CLAY CONNECTING SOFFIT TO SOFFIT.



SECTION 38 KEY	
S38 HATCH 2 FLEXIBLE CARRIAGEWAY, NEWS COURTS & NEWS COURT ENTRANCES - BLUE (SHARED SURFACE TARMAC TO HAVE COLOURED CHIPPINGS).	
S38 HATCH 3 FLEXIBLE (BLACK TOP) FOOTWAYS - BROWN	
S38 HATCH 4 BLOCK PAVING (CARRIAGEWAY & FOOTWAY) - ORANGE	
S38 GRASS VERGE - GREEN	
S38 EXCLUSIVE HIGHWAY DRAINAGE - BLUE	
S104 ADOPTABLE SURFACE WATER DRAINAGE - BROWN	
S104 ADOPTABLE FOUL WATER DRAINAGE - BROWN	
S38 DEVELOPERS OWNERSHIP BOUNDARY - RED	
STREET LIGHTING	

Rev	Revision Notes	LB	DW	Date
C01	INITIAL ISSUE			25.02.22

INGENT
CONSULTING ENGINEERS
Unit 10 Brightwell Barns, Waldringfield Road, Brightwell, Suffolk, IP10 0BJ.
Tel: 01473 598038 --- www.ingent.co.uk --- email: info@ingent.co.uk

PRELIMINARY

Project
**SHIRE HILL FARM,
SAFFRON WALDEN, ESSEX.**

Drawing Title
S38 LAYOUT

Client REDROW HOMES	Date FEB 2022
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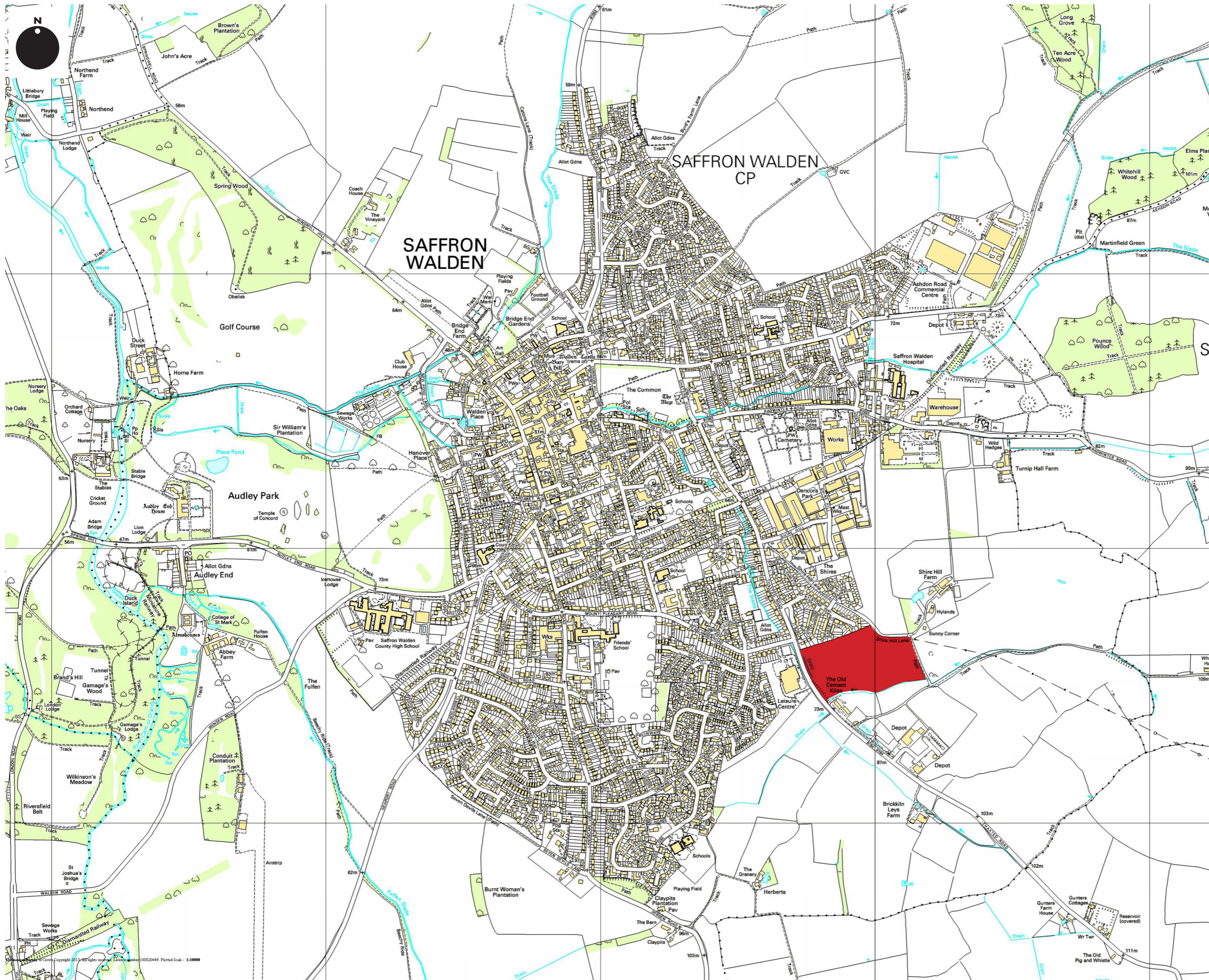
Drawn by LB	Designed by DW	Checked by DW	Approved by RGW
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Drawing No. 2544-ING-Z1-00-DR-C-17-038	Revision C01	Size A1
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APPENDIX 4

Site 3 (UTT/18/0824/OP) Approved Site Location Plan & Layout



Notes

1. No Dimensions are to be scaled from this drawing.
2. This drawing is the sole copyright of Savills and no part may be reproduced without the written consent of the above.
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No.	Revisions	By	Date



UNEX HOUSE 132-134 HILLS ROAD CAMBRIDGE CB2 8PA
 Telephone: (01223) 347000
 Facsimile: (01223) 347111
www.savills.com

Client
Kier Living Limited

Job
**Land off Thaxted Road
 Saffron Walden
 Essex**

Drawing Title
Site location plan

Scale	N.T.S.	Date	March 2018
Drawn By	JR	Approved By	IM
Drawing No.	406 / 222 / 001	Rev.	Job No. CAUD 406222



- Legend**
- Paving / Surfacing**
- Main access roads & footpaths to be concrete asphalt surfacing to engineer's specification
 - 200 x 100mm permeable block paving in 'Autumn Gold' colour (single size) 80mm thick laid to 45 degree herringbone pattern with single block border edge
 - Mown grass path
 - Public footpath
- Landscaping**
- Proposed trees
 - Amenity Grass
 - Wildflower grassland
 - Ornamental groundcover planting
 - Proposed SuDS Basin
 - Wet grasslands / reeds
 - 1.2 m high Hornbeam hedge
 - Proposed native mix hedge up to 3m high adjacent to site entrance retaining wall
 - Low ornamental hedge up to 600mm high

Accommodation Schedule
Private Development

No	Ref	Beds	Storey
10	Coiner	2	2
5	Quilter SP1 M4(2)	2	2
3	Coppersmith	3	2
12	Blemme	3	2
12	Hillard	3	2
12	Reedmaker	4	2
22	Luthier	4	2
10	Jeweller SP1 M4(2)	4	2
4	Jeweller SP2 Wchair	4	2
60			

Affordable Housing

No	Ref	Beds	Storey
2	Ha50 GF	1	1
2	Ha50 FF	1	1
30	Baker	2	2
4	Bun A	2	1
1	Ploughwright	3	2
19	Hillman	3	2
2	Cartographer	4	2
60			
Total			
150			

Bellway
Bellway Homes Essex
Business Homes
1 Current Square
Chelmsford
Essex, CM1 1AG
Tel: 01204 209988
Fax: 01204 209996

Project:
**Land East of Thaxted Road,
Saffron Walden**

Description:
**Development
Layout**

Date:
Sept 2019

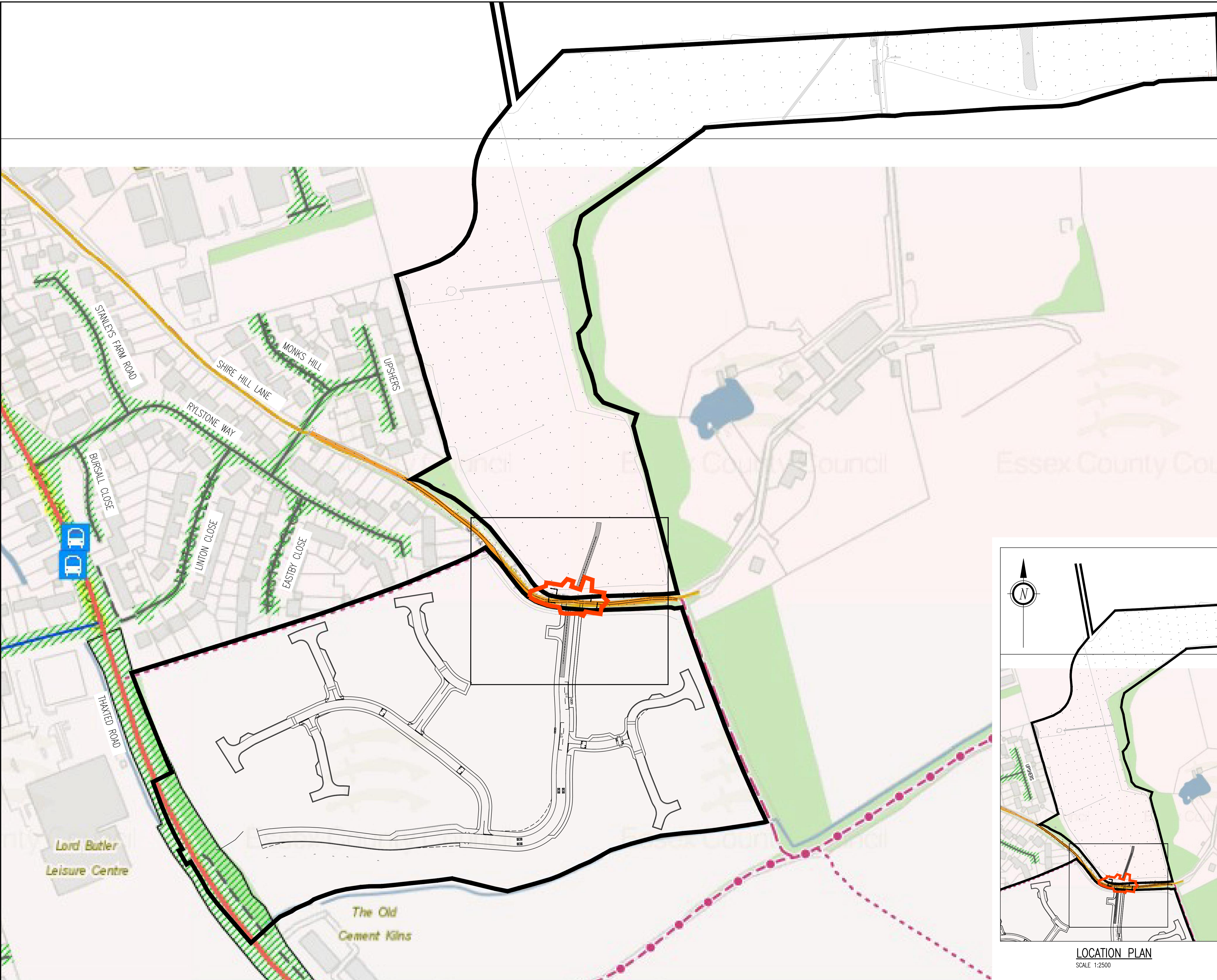
Drawing number:
BW216 PL-02

Drawing Scale:
1-500 @ A0

Revision:
A

APPENDIX 5

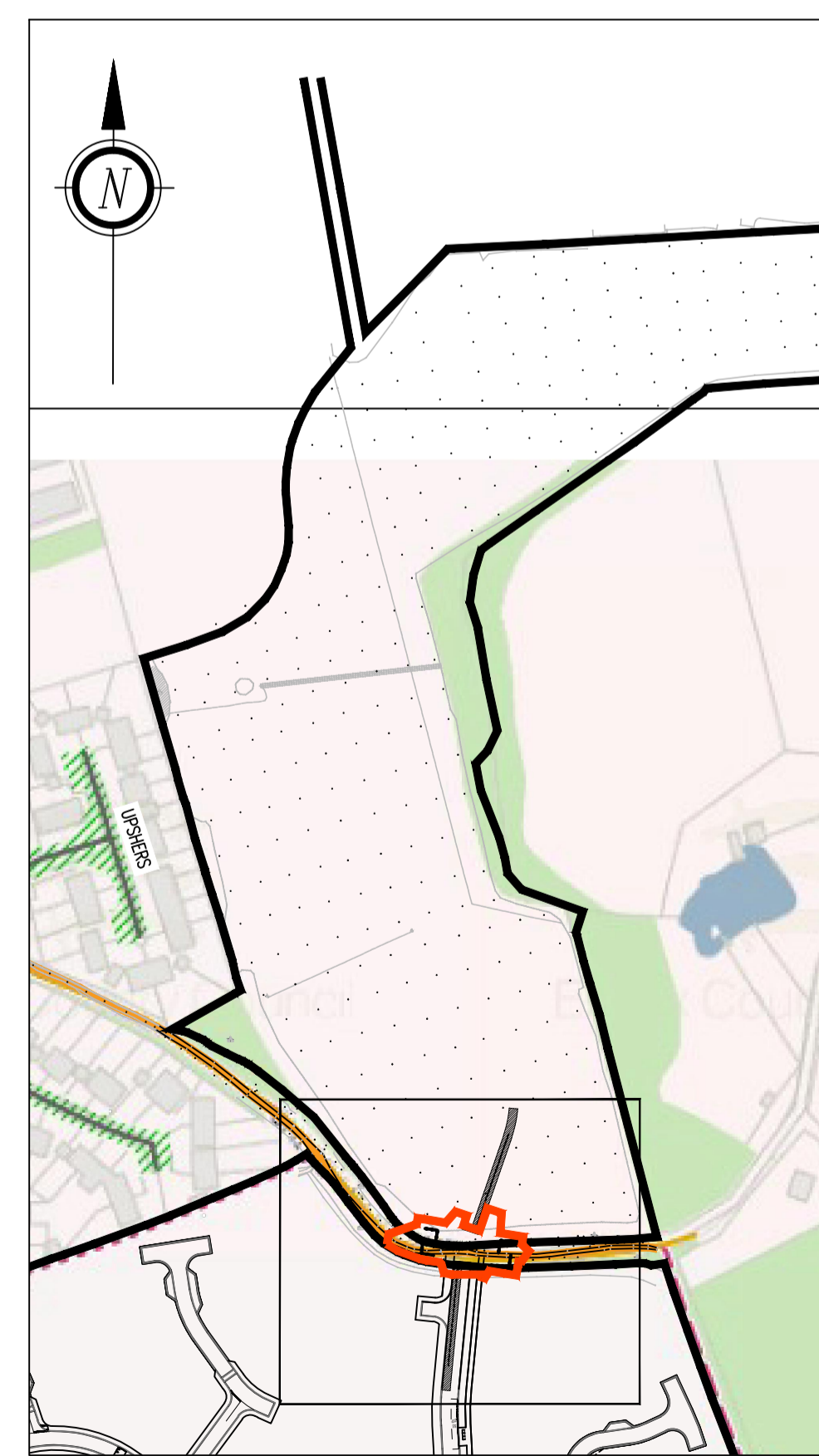
Dwg No. 2544-ING-Z1-00-DR-C-SK027 Rev B Crossing Proposals Bridleway 19



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 8. ALL ADOPTABLE WORKS TO BE CARRIED OUT IN ACCORDANCE WITH ESSEX HIGHWAYS DEVELOPMENT CONSTRUCTION MANUAL SEPTEMBER 2019.
 9. PRIOR TO THE OCCUPATION OF THE FIRST DWELLING, STREET NAMEPLATES SHALL BE ERECTED IN ACCORDANCE WITH THE HIGHWAY AUTHORITY AND TO THE WORDING AGREED WITH THE PLANNING AUTHORITY.
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 11. PROVISION SHALL BE MADE FOR THE INSTALLATION OF ALL MAINS SERVICES INCLUDING DUCTING PRIOR TO THE LAYING OF THE ROAD BASE-COURSE.
 12. ALL ROAD MARKINGS AND SIGNS ARE TO BE IN ACCORDANCE WITH THE TRAFFIC SIGNS REGULATIONS AND DIRECTIONS 2016.
 13. ALL SEWER WORKS ARE TO BE IN ACCORDANCE WITH SEWERS FOR ADOPTION 6th EDITION.
 14. ALL PRIVATE CONNECTIONS TO ADOPTABLE SEWERS SHOULD BE A MINIMUM OF 100mm DIAMETER (FOUL) & 150mm DIAMETER (SURFACE) MADE IN VITRIFIED CLAY CONNECTING SOFFIT TO SOFFIT.

LOCATION PLAN KEY

SITE OWNERSHIP BOUNDARY- BLACK	
S278 CROSSING WORKS BOUNDARY- RED	
PROW 19 REF: PROW 44_19 -ORANGE	



LOCATION PLAN
SCALE 1:2500

Rev	Revision Notes	Drawn	Approved	Date
B	EXISTING STREET NAMES ADDED	DW	RGW	26.05.22
A	BELLYWAY HOMES SITE BOUNDARY ADDED	DW	RGW	26.05.22

INGENT
CONSULTING ENGINEERS
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PRELIMINARY

Project
**SHIRE HILL FARM,
SAFFRON WALDEN, ESSEX.**

Drawing Title
**CROSSING PROPOSALS
BRIDLEWAY 19 (SHIRE HILL LANE)
REF PROW 44_19**

Client REDROW HOMES	Date MAR 2022
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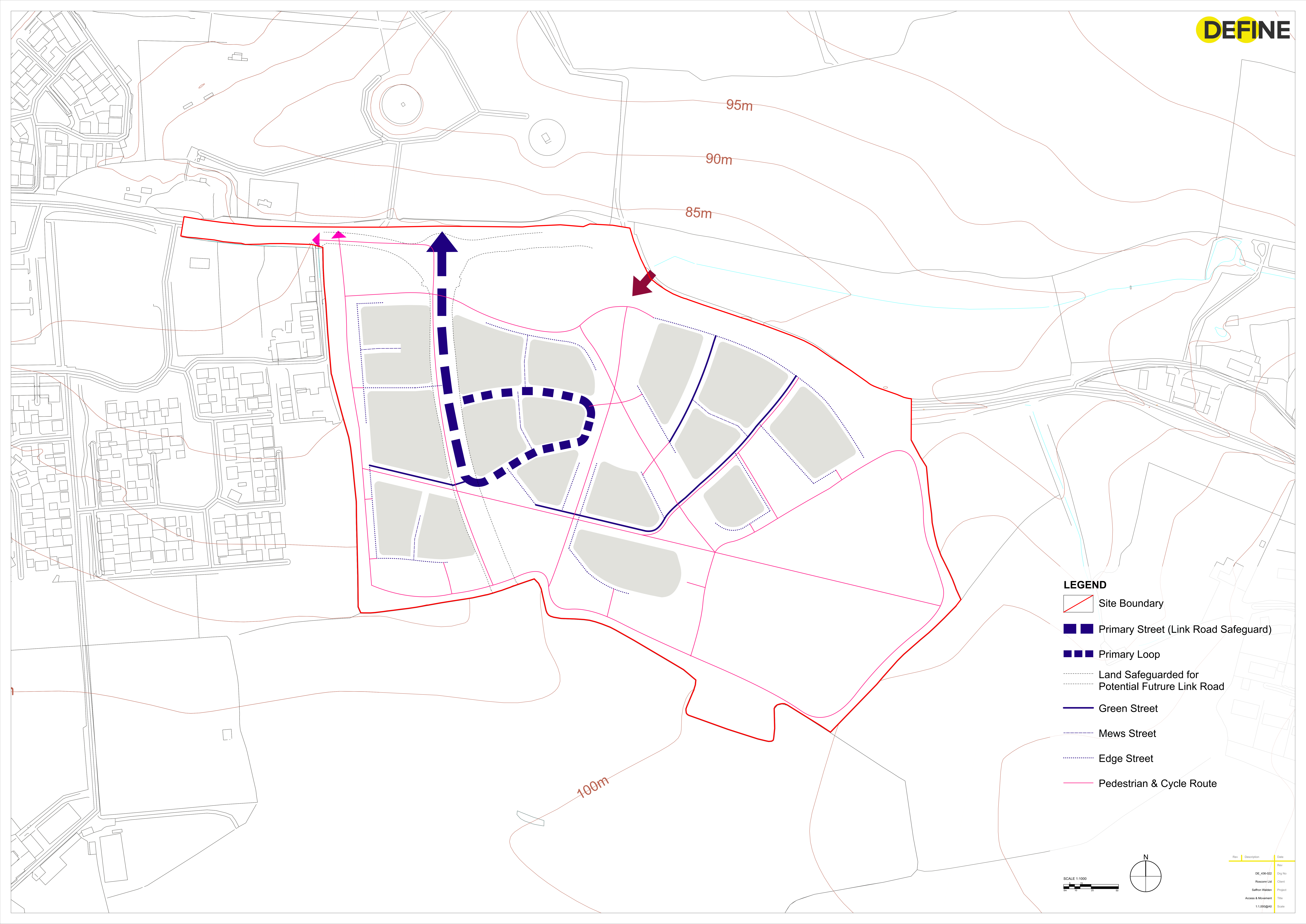
Drawn by APS	Designed by DW	Checked by DW	Approved by RGW
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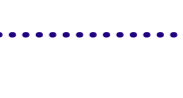

Scale
1:1000

Drawing No. 2544-ING-Z1-00-DR-C-17-SK027	Revision. B	Size A1
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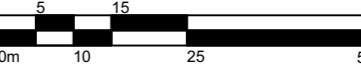
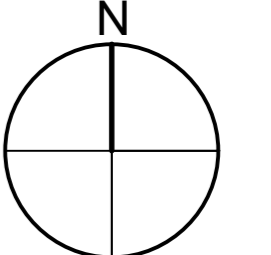
APPENDIX 6

Dwg No. DE436 022 Access & Movement Plan



- LEGEND**
-  Site Boundary
 -  Primary Street (Link Road Safeguard)
 -  Primary Loop
 -  Land Safeguarded for Potential Future Link Road
 -  Green Street
 -  Mews Street
 -  Edge Street
 -  Pedestrian & Cycle Route

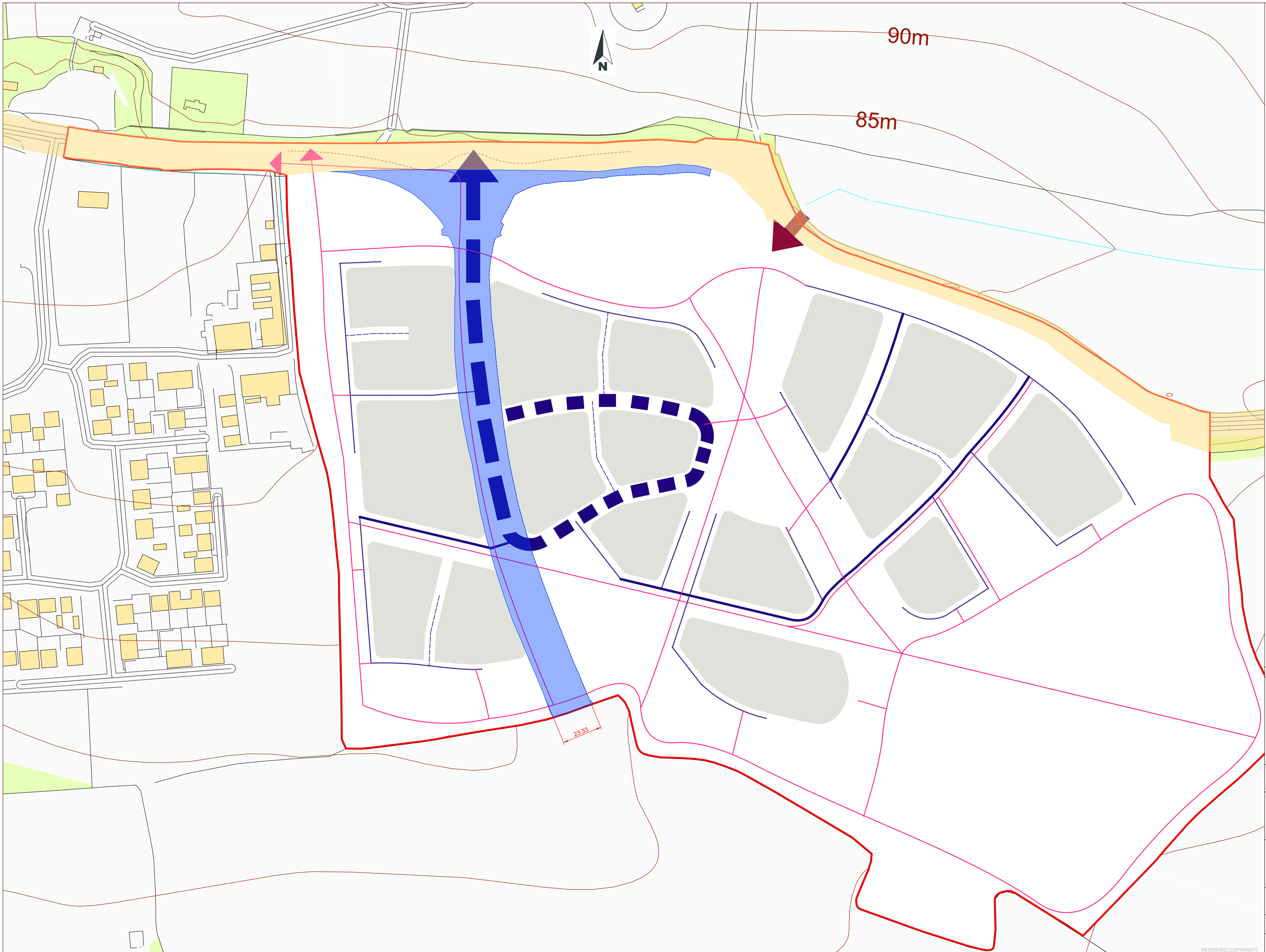
SCALE 1:1000

Rev	Description	Date
01	Issue for Client	10/10/2023
02	Client Review	15/10/2023
03	Final Approval	20/10/2023

APPENDIX 7

Dwg No. CTP-20-1142-SK17A Future Southern Relief Road



- Notes:**
1. Do not scale from this drawing. All dimensions are in metres, unless stated otherwise.
 2. This drawing is based on the Architect's layout by Define, DE_436-022.
 3. Ordnance Survey, (c) Crown Copyright 2020. All rights reserved. Licence number 100022432.

- Key:**
- Access Corridor
 - Application Site Boundary
 - Existing Adopted Highway

A	24/05/22	Access corridor updated	CE	CE
Rev.	Date	Details	Drawn By	Checked By



CLIENT:
Rosconn Group

PROJECT:
**Radwinter Road
Saffron Walden**

TITLE:
Future Southern Road Link

STATUS:
INFORMATION

SCALE @ A1:	DATE:	DRAWN:	CHECKED:	APPROVED:
1:1000	24.05.22	KPS	CE	CE
JOB NO:	DRAWING NO:	REVISION:		
20-1142	SK17	A		